



CATEGORY 2

New Home up to 250m² total floor area

PROJECT ADDRESS

10 Manyung Street, Kenmore

DESIGNER

SEQ Building Design

DESIGN BRIEF

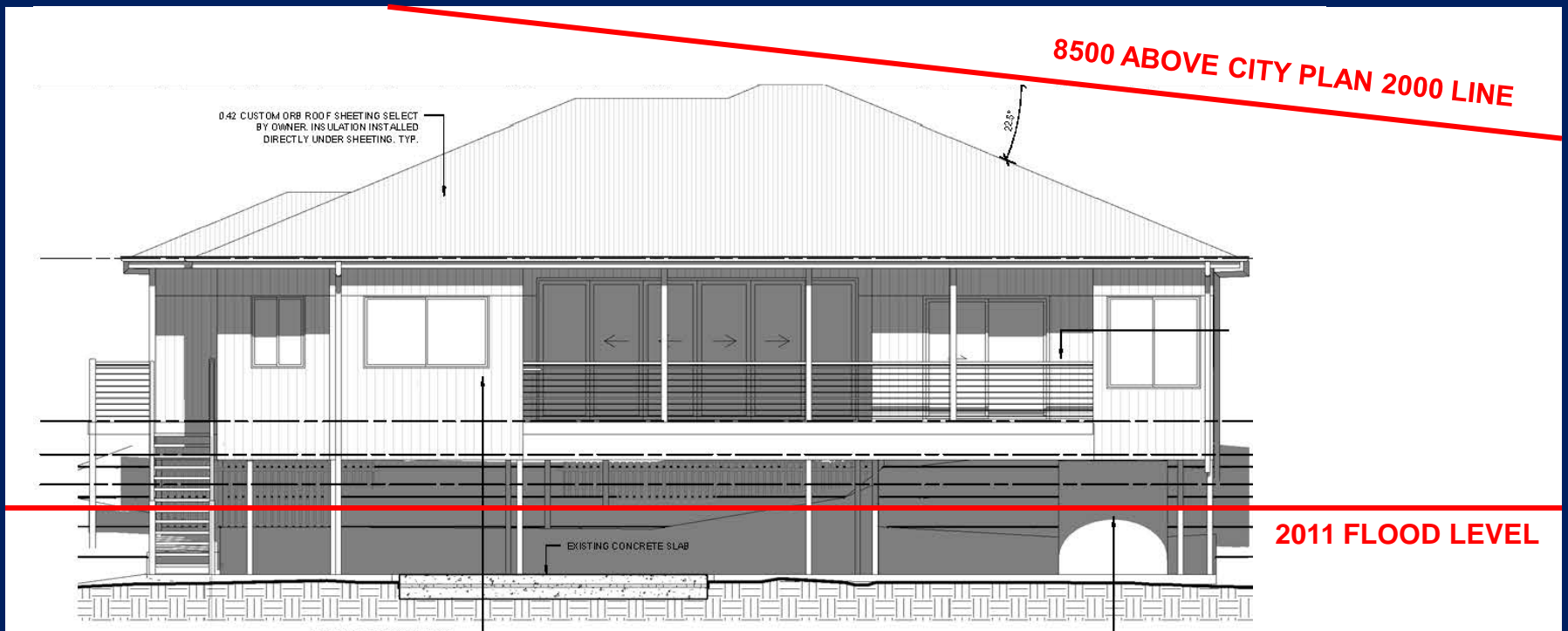
- Create an open planned and spacious living environment that could be enjoyed by a small family with older children while still delivering a comfortable and connected feel when the children are away.
- Maximise available north facing bush land views
- Work within budget limited to insurance settlement from 2011 flood damage
- Footprint narrowed considerably by flood imposed restrictions. 40% of block unbuildable due to waterway corridor at rear and 2011 flood level affecting minimum floor heights

DESIGN ANALYSIS

With the rear of the property facing north and extending over bush land the design would focus on creating a central living space that would leverage north facing solar performance and showcase the bush land outlook.



DESIGN ANALYSIS



Due to floor and height limitations
the design would be constrained to a single floor resulting in a 238sqm construction footprint achieved.

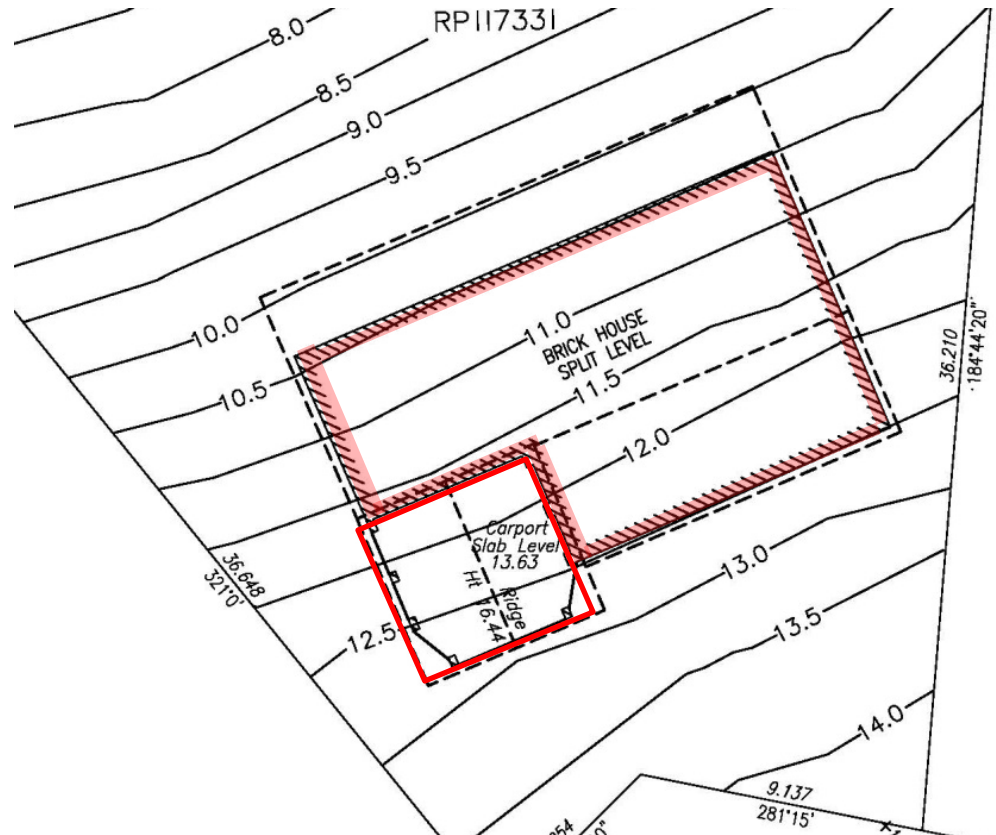
DESIGN ANALYSIS



The flood damaged home was double story brick which would have represented significant demolition costs.

To conserve budget...
Previous slab, footings and suspended carport slab were retained.

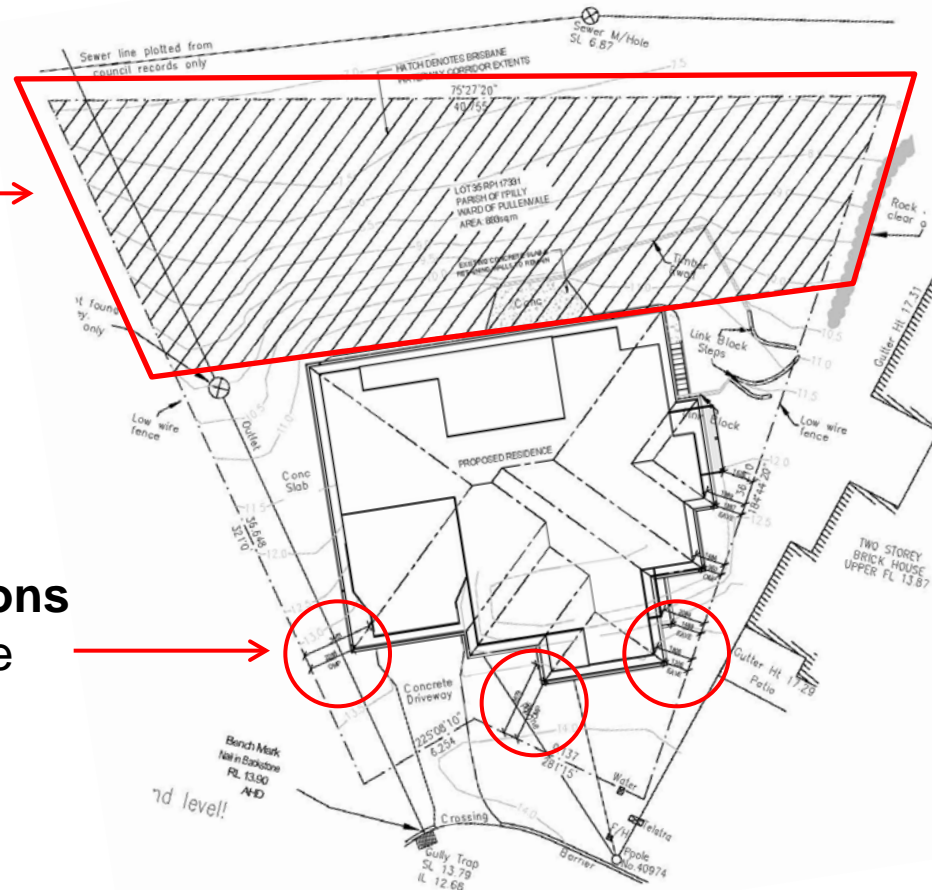
Resulted in only minor demolition and removal work to clear block for the new home.



DESIGN ANALYSIS

Rear construction line
was taken all the way to
waterway corridor
limitations.

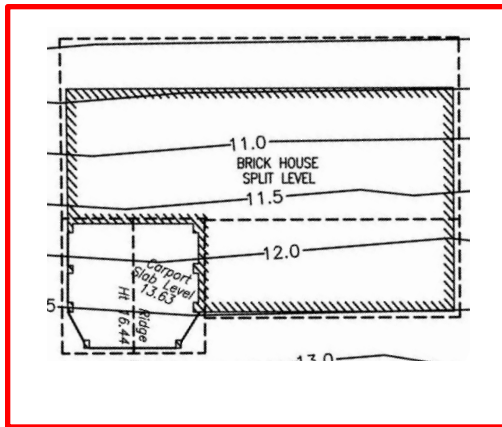
Front and side relaxations
were required to increase
available construction
footprint.



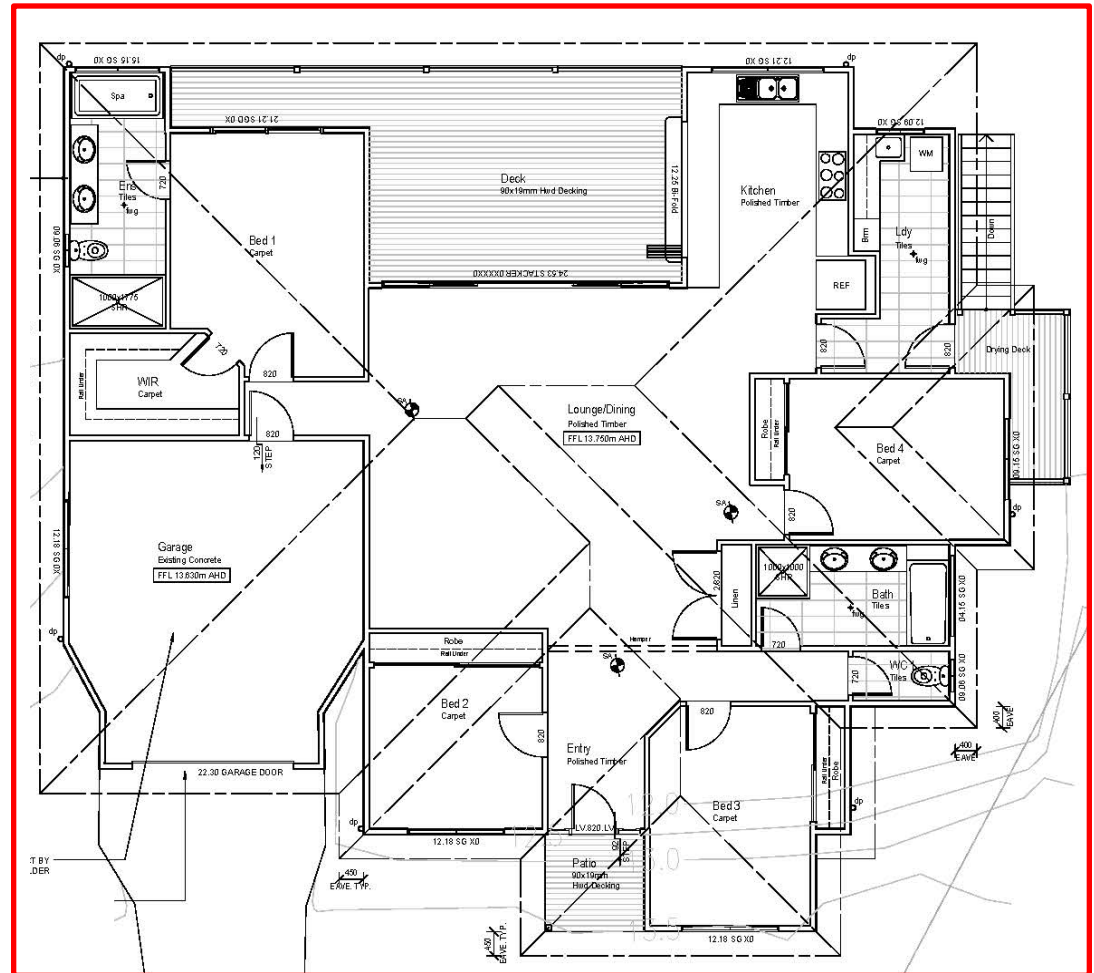
DESIGN ANALYSIS

New floor plan...

Positioned to fit over
previous slab and
incorporate previous
suspended carport /
driveway



Existing footprint



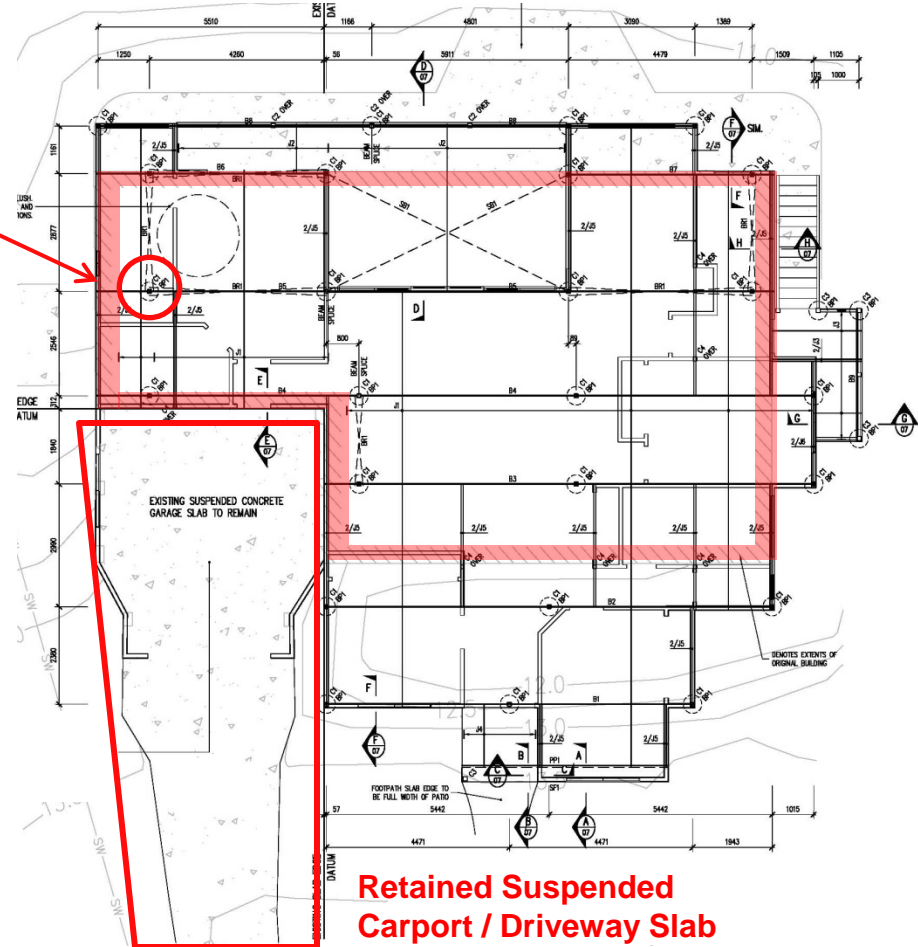
New floor plan

DESIGN ANALYSIS

Support beams moved in and cantilevered to avoid digging into previous footings

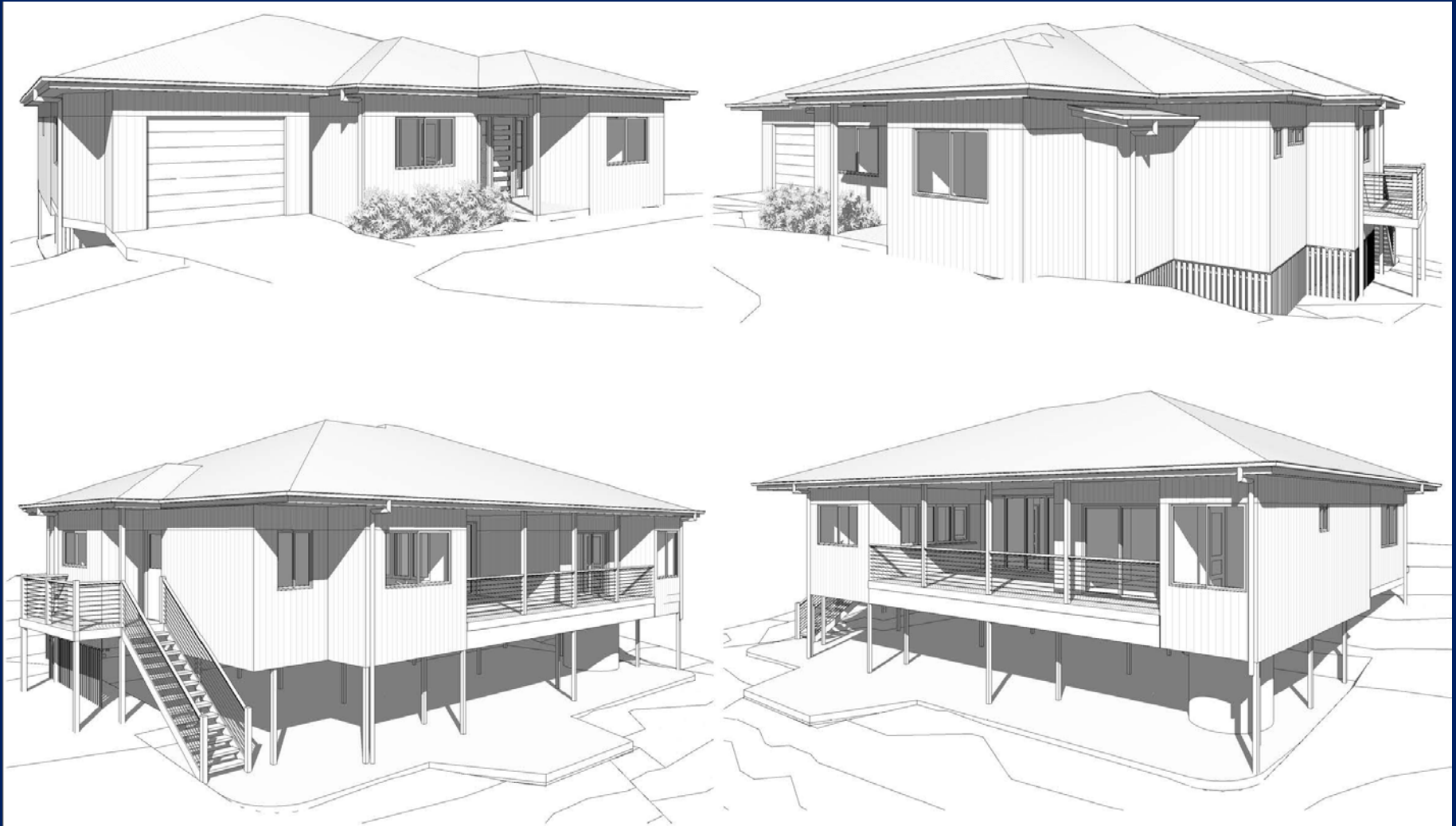
Commercial steel floor frame was selected to reduce the number of supporting beams and columns, providing greater flexibility to space floor frame supports and avoid costs of cutting and demolishing previous footings.

Commercial steel floor frame was designed to enable the builder to economically erect onsite and welder to join.



DESIGN OUTCOME

3D Views



DESIGN OUTCOME

View from front of home



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DESIGN OUTCOME

View of front patio



Due to the steepness of block, a patio area was incorporated into the frontage to soften the transition from street to home entry way.

DESIGN OUTCOME

Open planned lounge / dining



Home entry opens onto combined lounge / dining area, the open expanse is further amplified by 2400mm high six panel stacking doors opening to rear entertainers deck.

DESIGN OUTCOME

Lounge / Dining View from deck



The central location of the combined lounge / dining room forms a natural gathering point and was designed to encourage family gatherings and promote a relaxed common space for family downtime.

DESIGN OUTCOME

Deck with Bushland Outlook



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DESIGN OUTCOME

Balcony with Servery and Lounge / Dining



DESIGN OUTCOME

Deck with Servery and Bushland Outlook



Deck facing kitchen servery area has been complimented with bi-fold windows to promote cohesive indoor / outdoor space.

DESIGN OUTCOME

Kitchen with northern outlook



Large double windows open up the kitchen natural light and the leafy bush land aspect. **Laundry has been discreetly positioned behind kitchen** to minimise plumbing costs and provide direct access to drying deck with stairs to backyard and storage underneath..

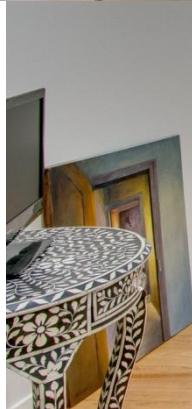
DESIGN OUTCOME

Lounge Dining leading to Deck and Kitchen



DESIGN OUTCOME

Master bedroom with Balcony Access



Master bedroom located in North West corner and uses ensuite / WIR to protect against western sun, raised northerly views accentuated with sliding doors to private area of main deck.

DESIGN OUTCOME

Lounge / Dining Room



Bedrooms are located off the central living space. The family has older children and the bedrooms have been thoughtfully separated so as not to share common walls with another bedrooms

DESIGN OUTCOME

View from rear of home



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Finish